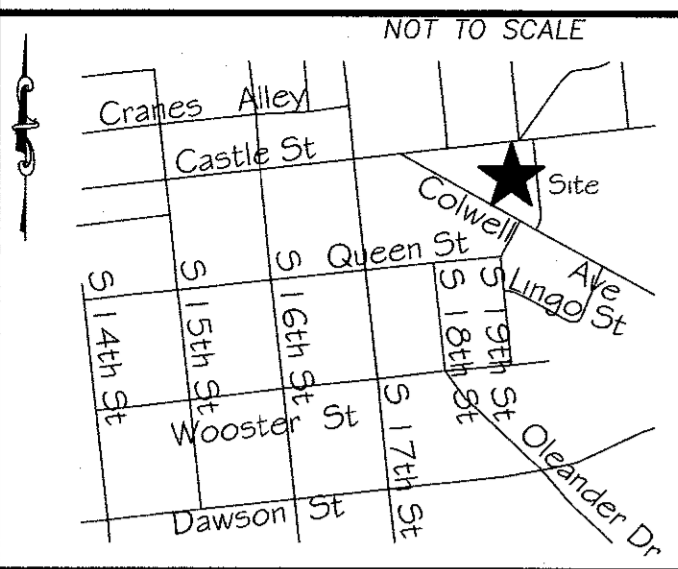
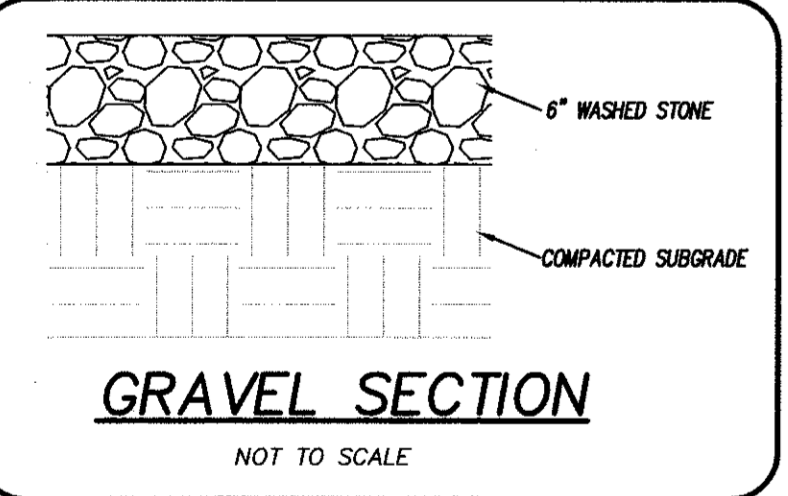


LOCATION MAP



MINOR/CONCEPT SITE PLAN REVIEW

- SITE DATA:**
- DEVELOPMENT NAME: JENNS CONTRACTING
 - PROPERTY OWNER: JOSEPH DECARLO
1809 COLWELL AVENUE
WILMINGTON, NC 28403
 - PROJECT ADDRESS(S): 1809 & 1811 COLWELL AVENUE
 - TAX PARCEL NUMBER(S): R05407-032-003-000; R05407-032-004-000
 - ZONING DISTRICT: URM - URBAN MIXED USE
 - BUILDING SETBACKS:
EX. BUILDING (NOT TO EXCEED 10 FT) REQUIRED SETBACKS:
FRONT SETBACK: 45 FT PROPOSED SETBACK: 45 FT
SIDE SETBACK: 3/45.9 FT SIDE SETBACK: 3/45.9 FT
REAR SETBACK: 33.1 FT REAR SETBACK: 33.1 FT
*** EXISTING STRUCTURE IS NOT TO BE EXPANDED ***
 - TOTAL PROJECT AREA: 17,963 SF (0.41 AC)
 - BUILDING SIZE: 1,250 SF (EXISTING SINGLE STORY BUILDING)
 - BUILDING LOT COVERAGE: 1,250 / 17,963 = 0.0695 OR 7%
 - BUILDING INFO: COMMERCIAL USE PROPOSED
 - NUMBER OF BUILDINGS: 1
 - BUILDING HEIGHT: 1 STORY / 414 FT
 - NUMBER OF FLOORS: 1
 - IMPERVIOUS SURFACE CALCULATIONS:
EXISTING CONCRETE DATA:
EXISTING BUILDING = 1,250 SF
EXISTING PATIO = 355 SF
EXISTING CONCRETE/PAVER = 688 SF
PARKING AREA = 137 SF
EXISTING CONCRETE WALKWAY = 137 SF
TOTAL: = 2,430 SF
2,430 SF / 17,963 SF
EXISTING IMPERVIOUS AREA: 13.5%
PROPOSED IMPERVIOUS AREA:
EXISTING BUILDING = 1,250 SF
EXISTING PATIO = 355 SF
EXISTING CONCRETE/PAVER = 688 SF
PARKING AREA = 137 SF
EXISTING CONCRETE WALKWAY = 137 SF
PROPOSED CONCRETE PARKING ADDITION = 102 SF
PROPOSED CONCRETE SIDEWALK = 906 SF
PROPOSED STORAGE SHED (288 SF TOT.) = 44 SF (AREA OFF PATIO)
TOTAL: = 3,482 SF
3,482 SF / 17,963 SF
PROPOSED IMPERVIOUS AREA: 19%
 - PARKING: MINIMUM REQ'D = 0, PROVIDED = 3
BICYCLE PARKING: MINIMUM REQ'D = 5 SPACES, PROVIDED = 5
 - CAMA LAND USE CLASSIFICATION: URBAN
 - SURVEY INFO PROVIDED BY ROBERT H. GOSLEE & ASSOCIATES, PA LIC# C-1167
 - THIS PROJECT IS NOT LOCATED WITHIN ANY OVERLAY DISTRICT
 - HANDY CART SERVICE TO BE UTILIZED FOR SOLID WASTE DISPOSAL
 - THIS SITE IS LOCATED WITHIN ZONE "M" ACCORDING TO FEMA FIRM MAP 1720321200A, PANEL 3127, DATE 4/03/06.
 - CAPACITY:
CURRENT WATER USAGE 125 GPD PROPOSED WATER USAGE 125 GPD
CURRENT SEWER USAGE 125 GPD PROPOSED SEWER USAGE 125 GPD
WATER - 25 GPD / EMPLOYEE X 5 = 125 GPD
SEWER - 25 GPD / EMPLOYEE X 5 = 125 GPD
NOTE: BUILDING CURRENTLY IN USE WITH ACTIVE WATER & SEWER SERVICES.



LEGEND

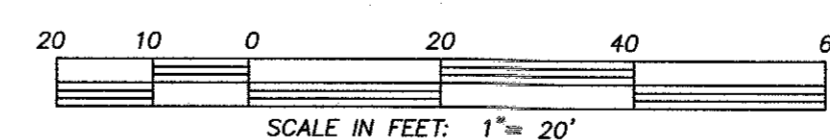
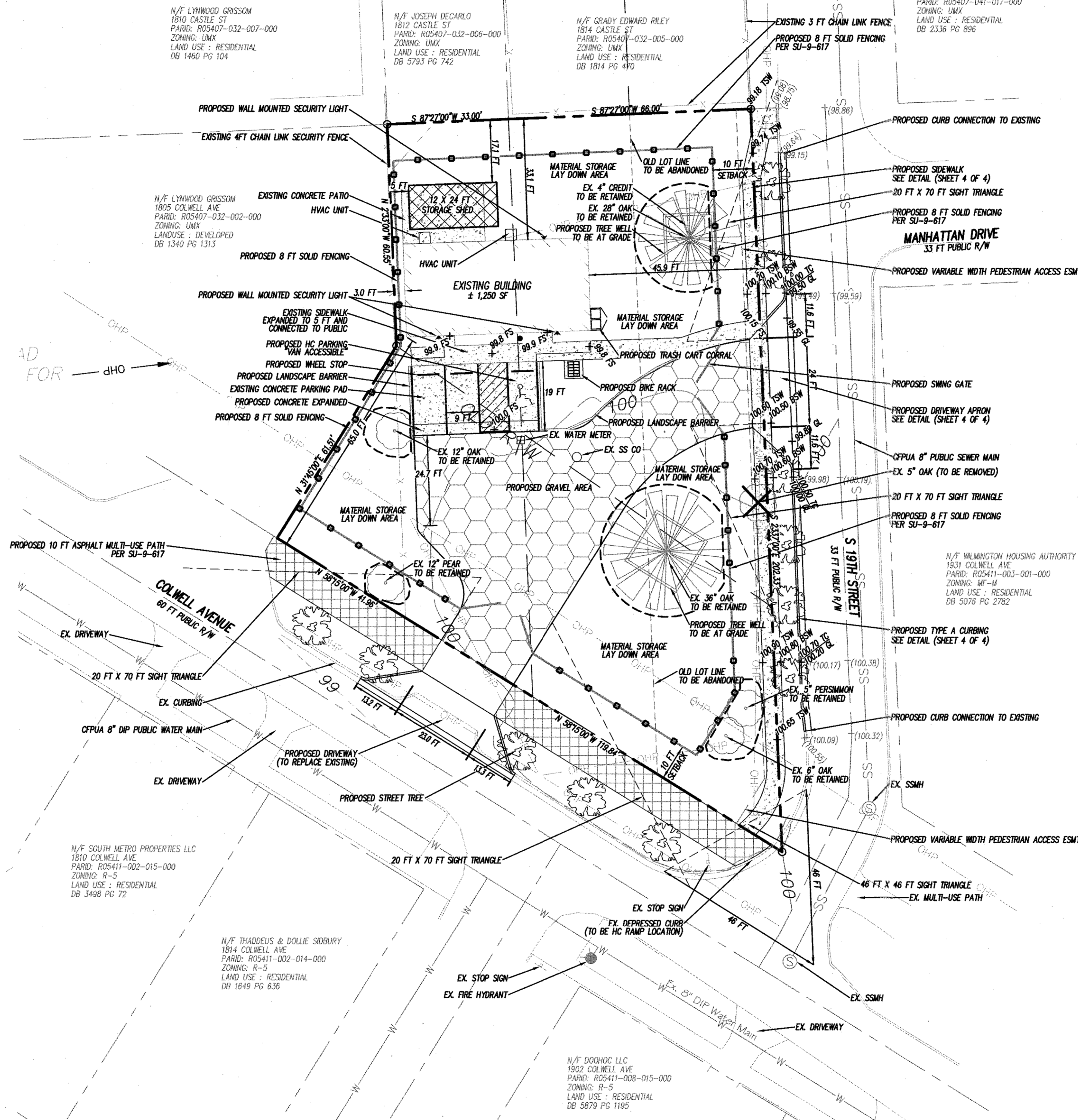
- PROPOSED BOUNDARY
- ▒ EXISTING BUILDING
- ▒ PROPOSED CONCRETE
- ▒ PROPOSED GRAVEL
- EXISTING WATER
- EXISTING SEWER
- EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER METER
- EXISTING SEWER CLEANOUT
- EXISTING CONTOUR
- PROPOSED TREE
- EXISTING TREE / TREE PROTECTION

GRADING NOTES:

1. CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL FINISHED AREAS.

GRADING KEY

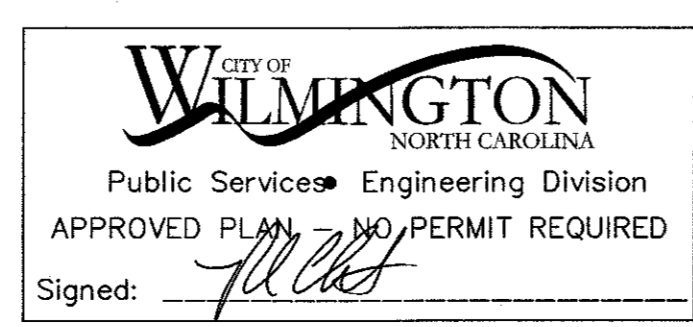
- UNLESS NOTED ALL ELEVATIONS ARE TO FINISHED GRADE.
- GL - GUTTER LINE
 - TC - TOP OF CURB
 - TSW - TOP OF SIDEWALK
 - FS - FINISH SURFACE



Approved Construction Plan

Name _____ Date _____
 Planning *mc 75-2018*
 Traffic *W. McLeod 7-6-18*
 Fire *Gregory 7-9-18*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



TRAFFIC ENGINEERING NOTES:

- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO SD 15-17.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVERS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- OPEN CUT NOTES:
A. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
B. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
C. SUITABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
D. OPEN CUT TO BE SAW CUT.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR MUTCD STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBMITTER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBMISSION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBMITTER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBMITTER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBSIDE MATS WILL BE REPLACED.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FOR TRAFFIC CONTROL LIGHTING OPTIONS.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT.

ENVIRONMENTAL NOTES:

- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

DEVELOPMENT NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOD AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- SOLID WASTE DISPOSAL WILL BE HANDLED TO BE 5 FT IN HEIGHT MAX. CHAIN LINK OR CONCRETE BLOCK ARE NOT APPROVED MATERIALS FOR CONFINEMENT.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
- APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
- PRIMARY BUILDING ENTRANCES SHALL BE CLEARLY DEFINED AND SHALL BE RECESSED AT LEAST THE FEET OF FRAMED BY AN ARCHITECTURAL ELEMENT. PRIMARY ENTRANCES SHALL BE CLEARLY DISTINCTIVE FROM OTHER ENTRANCES. SECONDARY OUTSIDE BUILDING ENTRANCES TO UPPER FLOORS ON THE PRIMARY FACADE SHALL ALIGN WITH THE OUTER MOST WINDOW ON THE FRONT FACADE.
- DRAINAGE FROM PUBLIC SIDEWALKS, MUP, AND ALL OTHER R/W IMPROVEMENTS TO BE DIRECTED TO THE PUBLIC R/W.

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE 125 GPD PROPOSED WATER USAGE 125 GPD
 CURRENT SEWER USAGE 125 GPD PROPOSED SEWER USAGE 125 GPD
 WATER - 25 GPD / EMPLOYEE X 5 = 125 GPD
 SEWER - 25 GPD / EMPLOYEE X 5 = 125 GPD

FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FD/C'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.

UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS(CS) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-390 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CPWA AND APPROVED BY USDF/COCHR OR ASSE. CALL 798-6064 FOR INFORMATION.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- 30" MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CPWA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO INCDENR AND "FINAL APPROVAL" ISSUED.
- UNDERGROUND UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ADJUTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.

LANDSCAPE NOTES:

- 1 STREET TREE PER 30 LF OF FRONTAGE.
- COLWELL AVENUE STREET FRONTAGE = 162 - 20 = 142; 142 / 30 = 4.7 TREES. 5 STREET STREET TREES TO BE ADDED.
- 19TH STREET FRONTAGE = 202 - 20 = 182; 182 / 30 = 6.06. 6 STREET TREES REQ'D. 6 STREET TREES TO BE ADDED.

PARKING NOTES:

VEHICULAR PARKING: MINIMUM REQ'D = NO MIN. PARKING IN URM; MAX SPACES = 6; 2 SPACES OR 1 PER 5,000 SF, NUMBER PROVIDED = 3

BICYCLE PARKING: MINIMUM REQ'D = 5 SPACES (PER COND. 10 OF SUP) NUMBER PROVIDED = 5

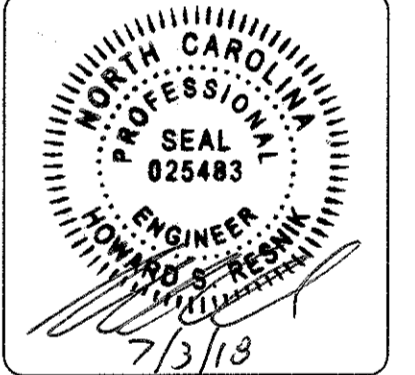
SPECIAL USE PERMIT APPROVED CONDITIONS

- THE APPLICANT SHALL FULLY COMPLY WITH ALL OF THE SPECIFIC REQUIREMENTS STATED IN THE LAND DEVELOPMENT CODE FOR THE PROPOSED USE AS WELL AS ANY ADDITIONAL CONDITIONS STATED BELOW.
- IF ANY SECTION, SUBSECTION, PARAGRAPH, SENTENCE, CLAUSE, PHRASE OR PORTION OF THIS PERMIT IS FOR ANY REASON HELD INVALID OR UNCONSTITUTIONAL BY ANY COURT OF COMPETENT JURISDICTION, THIS SPECIAL USE PERMIT SHALL BE NULL AND VOID AND NO EFFECT.
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE REVISED SITE PLAN RECEIVED ON 7/18/17.
- BUT FOR SPECIFIC USES AND CONDITIONS AUTHORIZED BY THE SPECIAL USE PERMIT, THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL OTHER SUPPLEMENTAL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE OR ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
- APPROVAL OF THIS SPECIAL USE PERMIT DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. ALL TECHNICAL REVIEW COMMITTEE COMMENTS SHALL BE FOLLOWED PRIOR TO ISSUANCE OF A CONSTRUCTION RELEASE OR FINAL ZONING APPROVAL.
- UTILITY AND EQUIPMENT SCHEDULING, HVAC EQUIPMENT, AIR CONDITIONING WINDOW UNITS, AND OTHER ELECTRICAL EQUIPMENT AND FIRE ESCAPES SHALL NOT BE LOCATED ON FACADES WITH STREET FRONTAGE. ALL SUCH EQUIPMENT SHALL BE PLACED IN THE INTERIOR YARDS OR INSET INTO THE ROOF PITCH, OR BEHIND A PARAPET WALL IN THE CASE OF A FLAT ROOF, OF THE BUILDING AND SCREENED FROM THE RIGHT-OF-WAY.
- SIGNAGE SHALL BE EXTERNAL ILLUMINATION ONLY. ELECTRONIC CHANGEABLE COPY IS NOT PERMITTED.
- ALL SITE LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES, SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP-LIGHTING LIGHT POSTS TO BE NO TALLER THAN TWELVE (12) FEET.
- A 10-FOOT WIDE MULTI-USE PAIR SHALL BE INSTALLED BY THE APPLICANT ALONG THE FRONTAGE OF COLWELL AVENUE.
- THE BICYCLE PARKING SPACES SHALL BE REQUIRED.
- THE APPLICANT SHALL INSTALL PERVIOUS GRAVEL FOR COMPLIANCE IF THE SOILS ARE DEEMED SUITABLE FOR INFILTRATION.
- EXTERIOR BURGLAR BARS, TIED "TROT SHUTTERS", OR SIMILAR SECURITY DEVICES SHALL NOT BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY.
- ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.

CSD ENGINEERING
 LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

MINOR SITE PLAN FOR
JENNS CONTRACTING
 1809 COLWELL AVENUE
 WILMINGTON, NC 28403

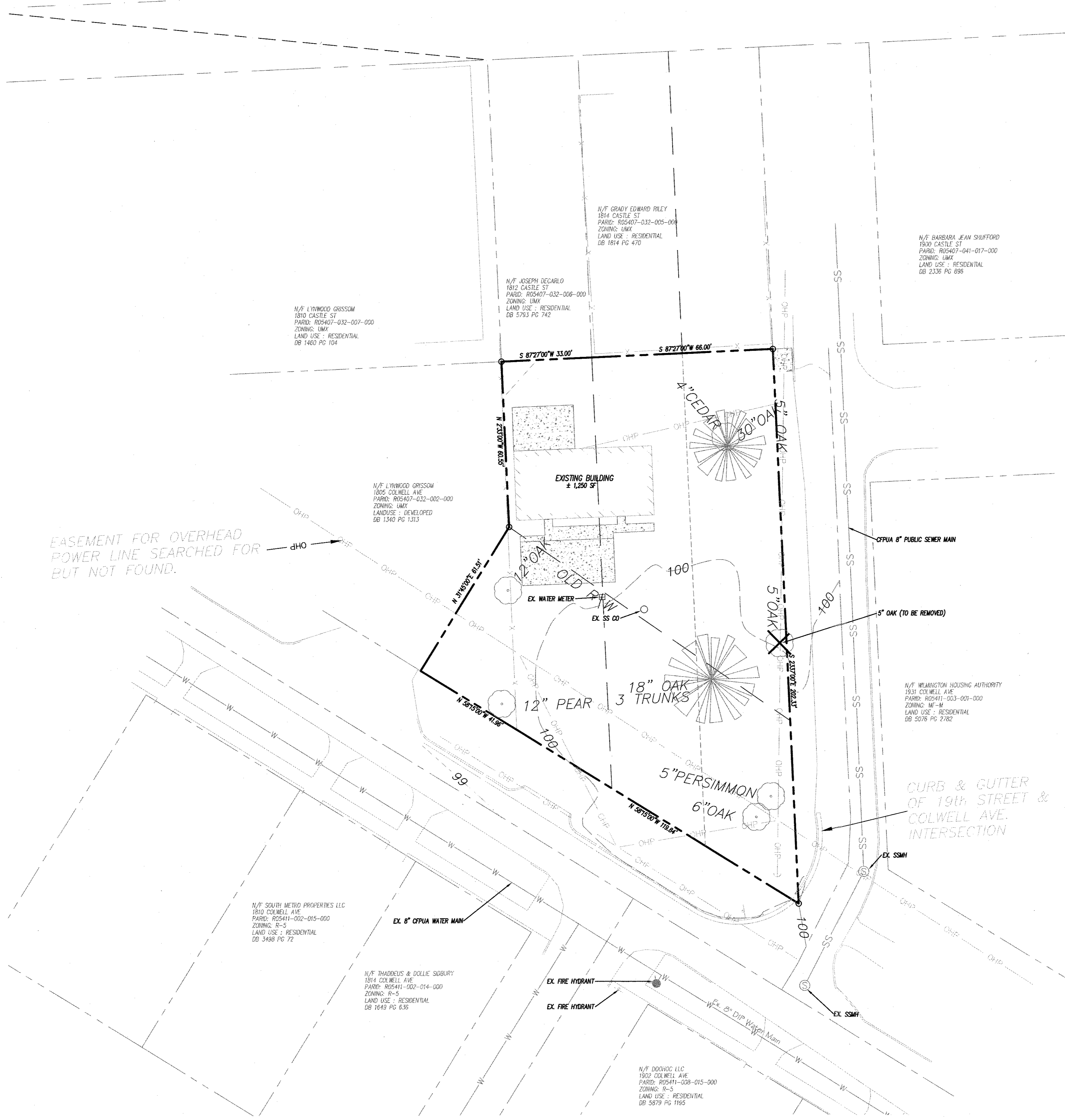
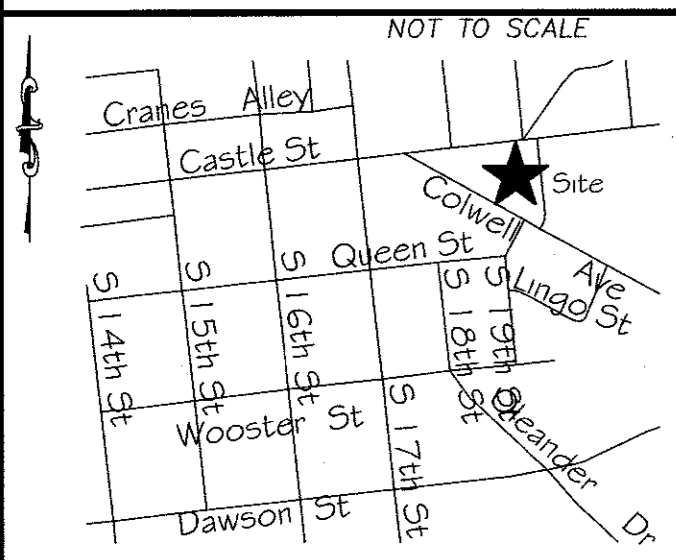
MINOR SITE PLAN FOR
JENNS CONTRACTING
 1809 COLWELL AVENUE
 WILMINGTON, NC 28403



NO.	DATE	BY	REMARKS
7	7/20/18	JSM	
6	6/29/18	JSM	
5	4/17/18	JSM	
4	3/28/18	JSM	
3	3/07/18	JSM	
2	2/27/18	JSM	
1	2/27/18	JSM	

DATE: 11-20-17
 HORIZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: JSM
 CHECKED BY: HSR
 PROJECT NO.: 17-0414
 Sheet No. **1** of **4**

LOCATION MAP



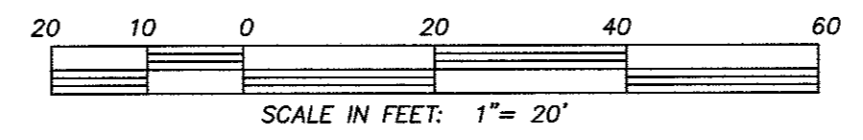
EASEMENT FOR OVERHEAD POWER LINE SEARCHED FOR BUT NOT FOUND.

CURB & GUTTER OF 19th STREET & COLWELL AVE. INTERSECTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LEGEND

- PROPOSED BOUNDARY
- EXISTING BUILDING
- EXISTING WATER
- EXISTING SEWER
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING SEWER CLEANOUT
- EXISTING CONTOUR
- EXISTING TREE



CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

SITE INVENTORY FOR JENNS CONTRACTING
1809 COLWELL AVENUE

The sheet is prepared by CSD ENGINEERING, with a date of 7/5/18. The use of this drawing, or any part of it, without the written consent of CSD ENGINEERING, is prohibited. The use of this drawing, or any part of it, without the written consent of CSD ENGINEERING, is prohibited. The use of this drawing, or any part of it, without the written consent of CSD ENGINEERING, is prohibited.

SITE INVENTORY FOR JENNS CONTRACTING
1809 COLWELL AVENUE
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: JOSEPH DECARLO
1809 COLWELL AVENUE
WILMINGTON, NC 28403

NORTH CAROLINA PROFESSIONAL SEAL
025483
ENGINEER
HOWARD S. REYNOLDS
7/5/18

REV. NO.	DATE	BY	REMARKS
4	7/5/18	JSM	SCALED
3	3/28/18	JSM	REVISED PER TRC COMMENTS
2	3/27/18	JSM	REVISED PER TRC COMMENTS
1	2/29/18	JSM	REVISED PER TRC COMMENTS

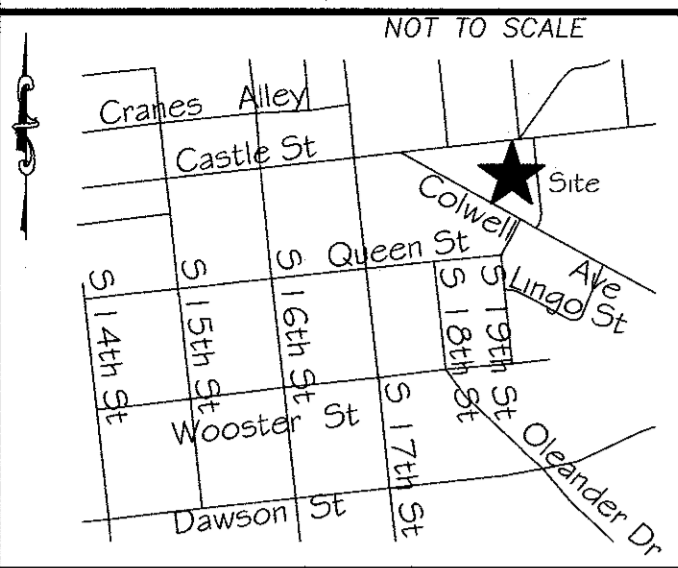
CITY OF WILMINGTON NORTH CAROLINA
Public Services Engineering Division
APPROVED PLAN NO PERMIT REQUIRED
Signed:

Approved Construction Plan

Name: _____ Date: _____
Planning: YMC 7-5-2018
Traffic: W. S. 7-6-18
Fire: Jan M. 7-9-18

DATE: 11-20-17
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: JSM
CHECKED BY: HSR
PROJECT NO.: 17-0414
Sheet No. **2** of **4**

LOCATION MAP



MAJOR/MINOR/CONCEPT SITE PLAN REVIEW

SITE DATA:

- DEVELOPMENT NAME: JENNS CONTRACTING
- PROPERTY OWNER: JOSEPH DECARLO, 1809 COLWELL AVENUE, WILMINGTON, NC 28403
- PROJECT ADDRESS(S): 1809 & 1811 COLWELL AVENUE
- TAX PARCEL NUMBER(S): R05407-032-000; R05407-032-004-000
- ZONING DISTRICT: UMX - URBAN MIXED USE
- BUILDING SETBACKS: EX. BUILDING (NOT TO EXCEED 10 FT)

REQUIRED SETBACKS	PROPOSED SETBACKS
FRONT SETBACK: 65 FT	FRONT SETBACK: 65 FT
SIDE SETBACK: 3/4 @ 9 FT	SIDE SETBACK: 3/4 @ 9 FT
REAR SETBACK: 33.1 FT	REAR SETBACK: 33.1 FT

 *** EXISTING STRUCTURE IS NOT TO BE EXPANDED ***
- TOTAL PROJECT AREA: 17,963 SF (0.41 AC)
- BUILDING SIZE: 1,250 SF (EXISTING SINGLE STORY BUILDING)
- BUILDING LOT COVERAGE: 1,250 / 17,963 = 0.0695 OR 7%
- BUILDING INFO: COMMERCIAL USE PROPOSED
- NUMBER OF BUILDINGS: 1
- BUILDING HEIGHT: 1 STORY / 214 FT
- NUMBER OF FLOORS: 1
- IMPERVIOUS SURFACE CALCULATIONS:

EXISTING ON-SITE DATA:	EXISTING:	PROPOSED:
EXISTING BUILDING	= 1,250 SF	
EXISTING PATIO	= 355 SF	
EXISTING CONCRETE/PAVEMENT	= 688 SF	
PARKING AREA	= 137 SF	
EXISTING CONCRETE WALKWAY	= 137 SF	
PROPOSED CONCRETE PARKING ADDITION		= 102 SF
PROPOSED CONCRETE SIDEWALK		= 306 SF
PROPOSED STORAGE SHED (288 SF TOT.)		= 44 SF (AREA OFF PATIO)
TOTAL:	2,430 SF	3,482 SF

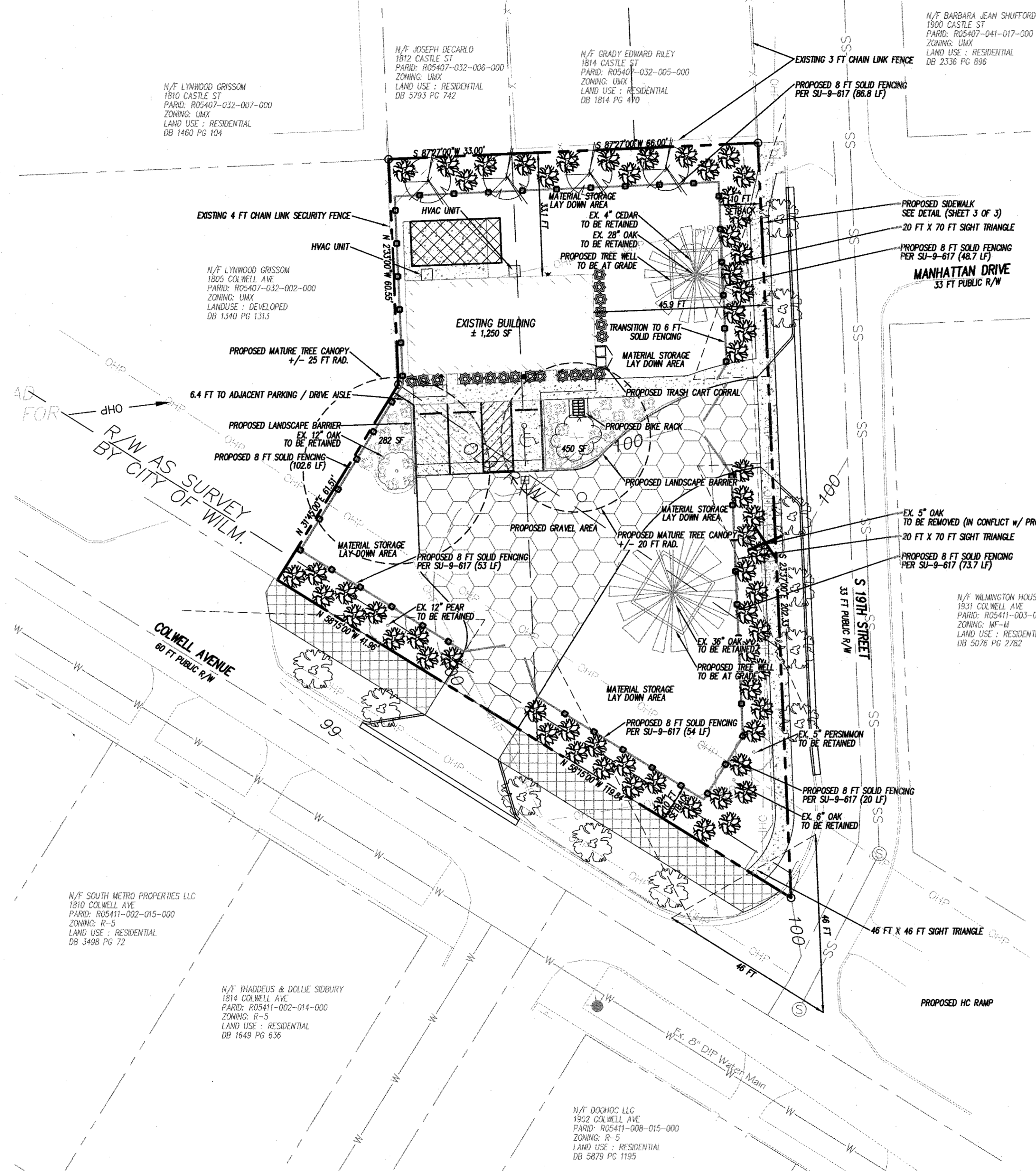
 2,430 SF / 17,963 SF
 EXISTING IMPERVIOUS AREA: 13.5%
 PROPOSED IMPERVIOUS AREA:

EXISTING BUILDING	= 1,250 SF
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PROPOSED STORAGE SHED (288 SF TOT.)	= 44 SF (AREA OFF PATIO)
TOTAL:	3,482 SF

 3,482 SF / 17,963 SF
 PROPOSED IMPERVIOUS AREA: 19%
- PARKING: MINIMUM REQ'D = 6; PROVIDED = 3
- BIKE PARKING: MINIMUM REQ'D = 5 SPACES; PROVIDED = 5
- CHAMPAIGN LAND USE CLASSIFICATION: URBAN
- SURVEY INFO PROVIDED BY ROBERT H. GOSLEE & ASSOCIATES, PA LCM C-1167
- THIS PROJECT IS NOT LOCATED WITHIN ANY OVERLAY DISTRICT
- HANDY CART SERVICE TO BE UTILIZED FOR SOLID WASTE DISPOSAL
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA DFIRM MAP ST72032200A PANEL 3127, DATE 4/03/06.
- CAPACITY:

CURRENT WATER USAGE	125 GPD	PROPOSED WATER USAGE	125 GPD
CURRENT SEWER USAGE	125 GPD	PROPOSED SEWER USAGE	125 GPD
WATER	- 25 GPD / EMPLOYEE X 5 = 125 GPD		
SEWER	- 25 GPD / EMPLOYEE X 5 = 125 GPD		

NOTE: BUILDING CURRENTLY IN USE WITH ACTIVE WATER & SEWER SERVICES.



Proposed Plant Table

SHRUBS					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
20		<i>Ilex cornuta</i>	Needlepoint Holly	7 GAL. 3' HT.	FOUNDATION
36		<i>Buxus microphylla</i>	Wintergreen Boxwood	3 Gal.	PARKING ISLAND
62		<i>Myrica cerifera</i>	Wax Myrtle	7 Gal. 3' HT.	STREETYARD SHRUB

TREES					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
1		<i>Acer buergerianum</i>	Trident Maple	2" CAL.	PARKING LOT
11		<i>Ilex attenuata</i>	SAVANNAH HOLLY	2" CAL.	STREET TREE
4		<i>Prunus serrulata</i>	'Kwanzan' Japanese Cherry	2" CAL.	BUFFERYARD TREE

O.C. - "ON CENTER" CAL - "CALIPER AT 6" ABOVE GRADE" GAL - "GALLON CONTAINER"

LANDSCAPE CALCULATIONS:

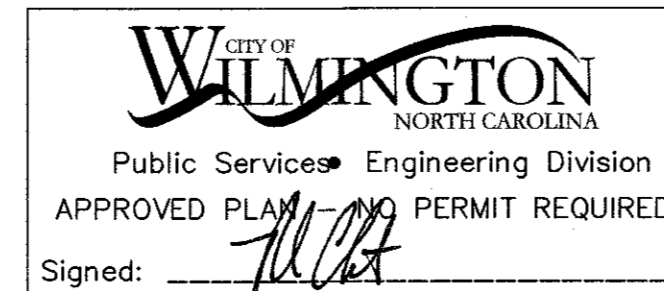
- PARKING AREA SHADE CALCULATIONS:
790 SF PARKING AREA; 20% SHADE REQ'D; 790 * 0.2 = 158 SF OF REQ'D SHADE.
526 SF OF SHADE AREA PROVIDED AT MATURITY.
- FOUNDATION LANDSCAPING:
770 SF BLDG FACE * 12% = 92.4 SF REQ'D FOUNDATION LANDSCAPING.
192 SF FOUNDATION LANDSCAPING PROVIDED.
- PARKING ISLAND LANDSCAPING:
1 CANOPY TREE AND SHRUBBERY * 1 INTERIOR PARKING ISLAND
1 CANOPY TREE AND SHRUBS REQ'D; 1 CANOPY TREE AND SHRUBS PROVIDED
- TREES & SHRUBS IN THE SETBACK AREA SHALL BE MAINTAINED BY THE OWNER TO ENSURE THAT THE MATERIAL LIVES & PROSPERS.
- PARKING AREA SCREENING:
6 FOOT SOLID FENCING ON ALL SIDES, SHRUBS TO SCREEN FENCE.
- SEC. 19-258 (E) CALCULATIONS AS FOLLOWS:
TOTAL PROJECT LIMITS = 17,963 SF, TOTAL LANDSCAPED AREA = 4,957 SF
4,957 / 17,963 = 0.2759 OR 28%
28% > 6% (MINIMUM LANDSCAPED AREA)
- 15 TREES PER DISTURBED ACRE REQ'D.
15 TREES * 0.41 AC = 6.15 TREES (RETAINED OR PROVIDED)
7 TREES - TO BE RETAINED
1 TREE - TO BE PROVIDED
8 TREES > 6.15 TREES REQ'D

LANDSCAPE NOTES:

- APPLICABLE STREET FRONTS SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- HVAC EQUIPMENT SHALL BE PLACED IN THE INTERIOR YARDS AND SCREENED FROM THE FRONT-OF-HOUSE. THE UNITS WILL BE SCREENED FROM PUBLIC VIEW FROM ALL SIDES OF THE BUILDING.
- NO IRRIGATION CURRENTLY SPECIFIED, IF SO DESIRED THE IRRIGATION CONTROL MODULE MUST BE (INSTALLED W/ A RAIN SENSOR).
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL OTHER AREAS TO BE SEEDED.
- EXISTING SIGNIFICANT TREES HAVE BEEN LOCATED BY A FIELD SURVEY.
- PLANTINGS TO BE MATCHED AS CLOSELY AS POSSIBLE. ANY SUBSTITUTIONS AND ALTERATIONS TO THIS PLAN ARE TO BE APPROVED BY THE CITY OF WILMINGTON.
- LIGHTING SHOWN ON SITE PLAN, SEE SHEET 1 OF 4.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10'.

LEGEND

- PROPOSED BOUNDARY
- EXISTING BUILDING
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- EXISTING WATER
- EXISTING SEWER
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING SEWER CLEANOUT
- EXISTING CONTOUR
- PROPOSED TREE
- EXISTING TREE



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

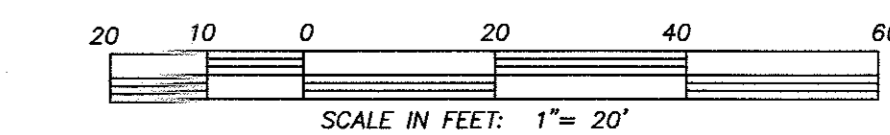
Approved Construction Plan

Name: _____ Date: _____

Planning: *YMC 7-5-2018*

Traffic: *W. S. M. D. 2-26-18*

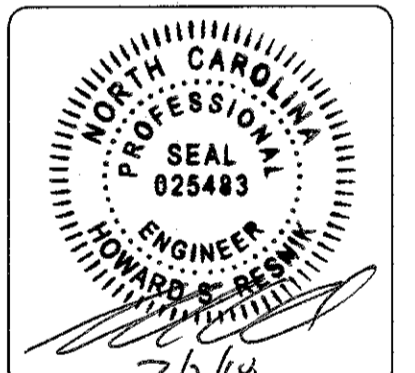
Fire: *Gay MA 7-9-18*



LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL
P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

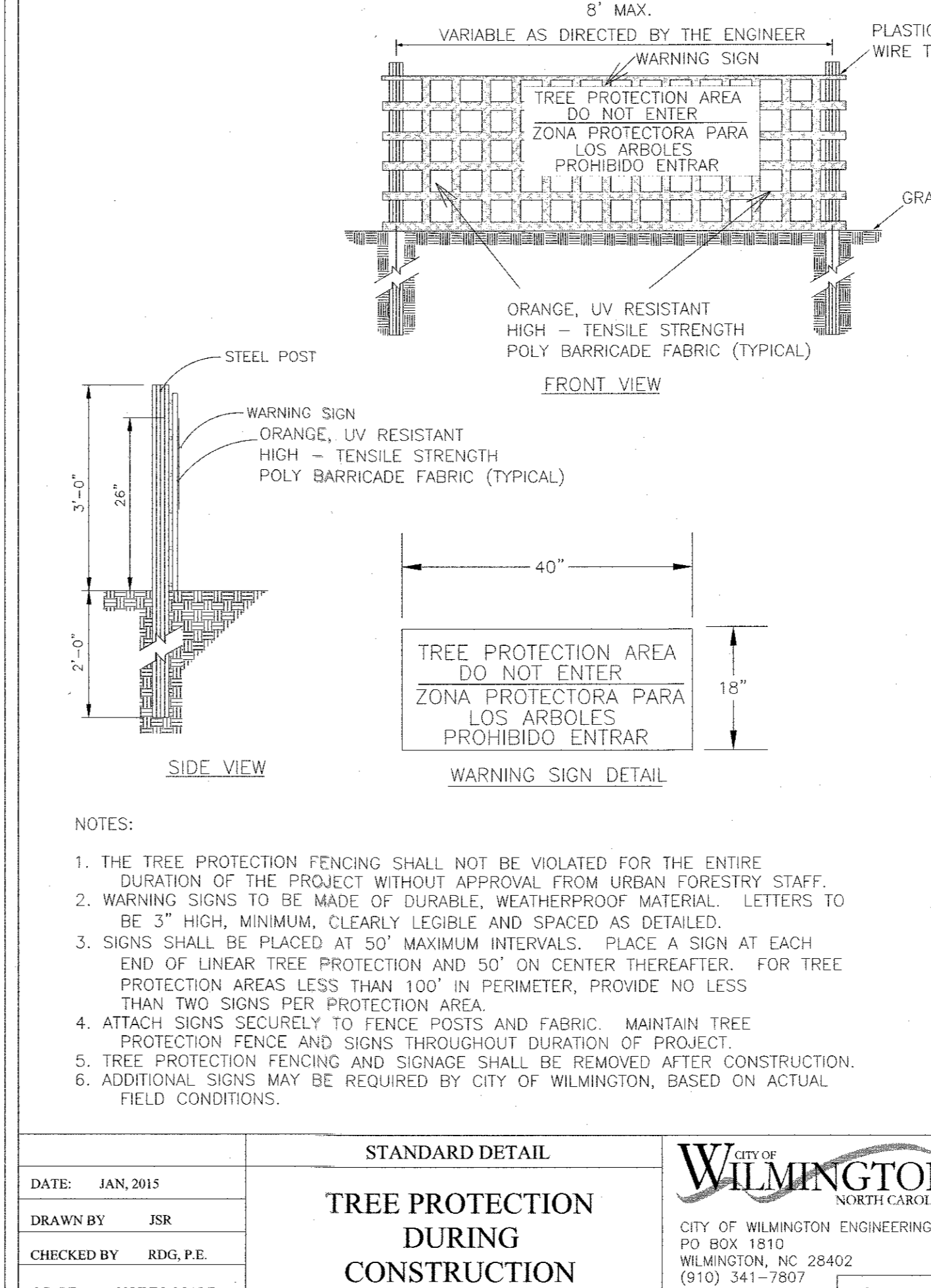
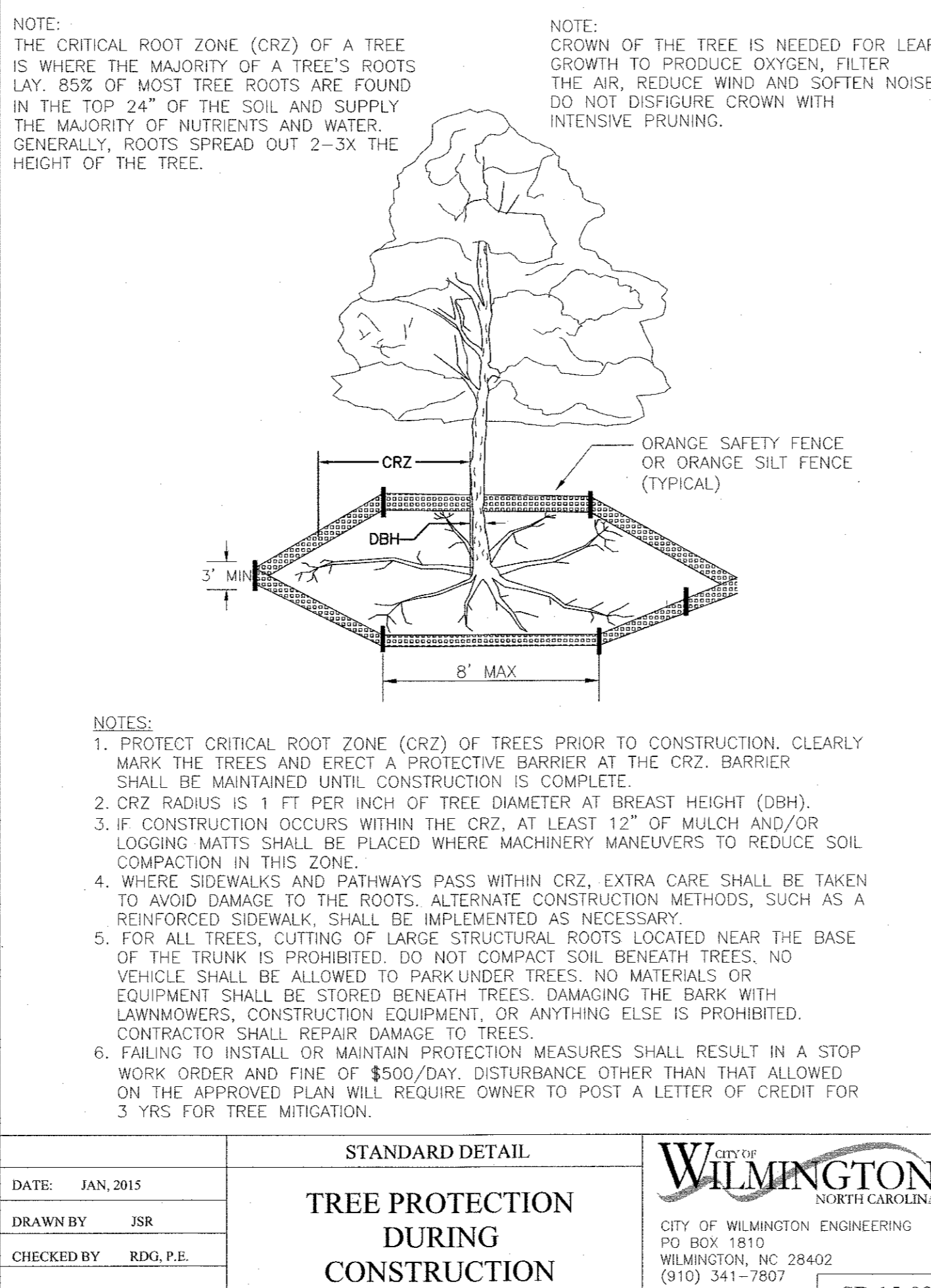
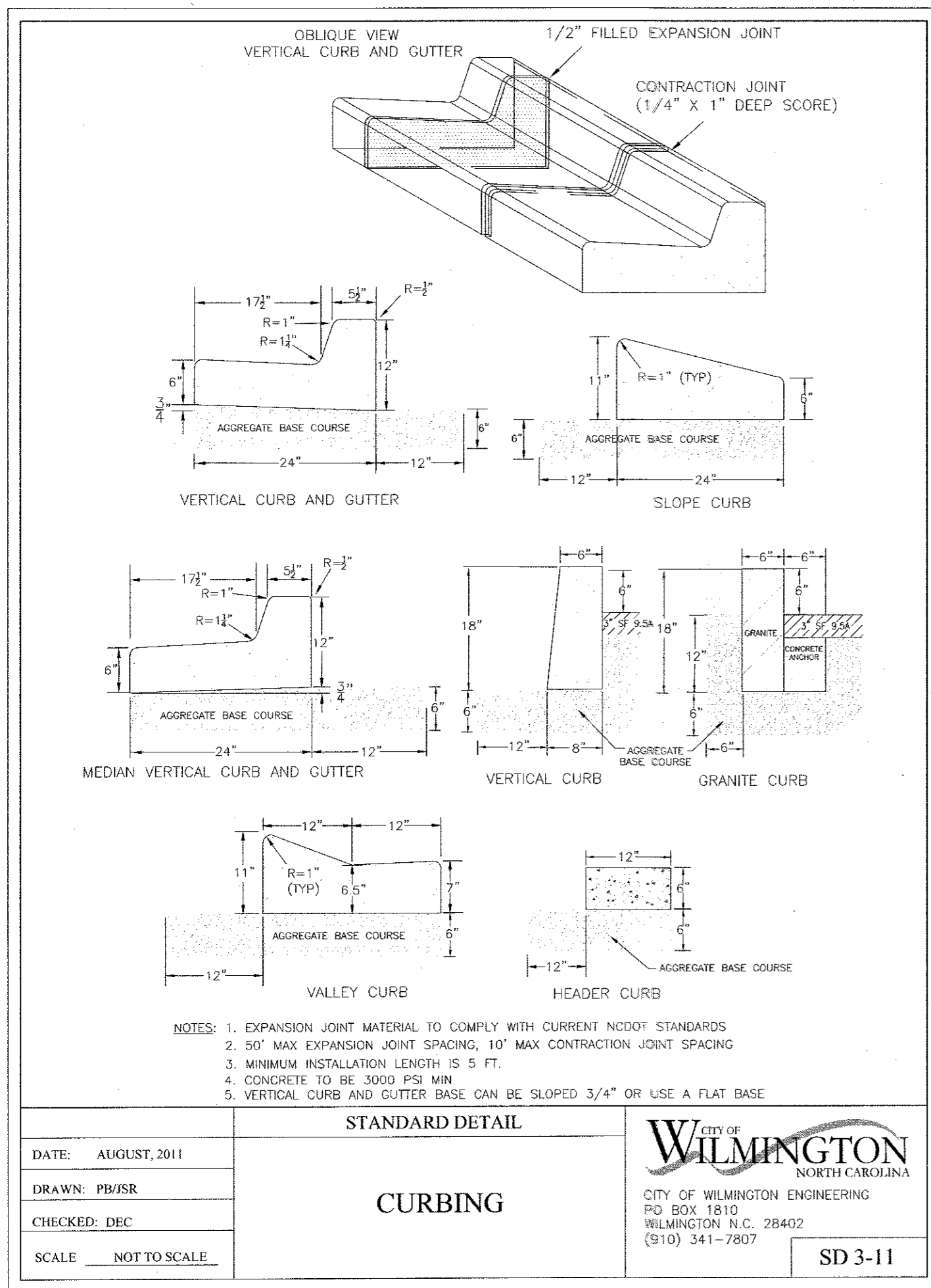
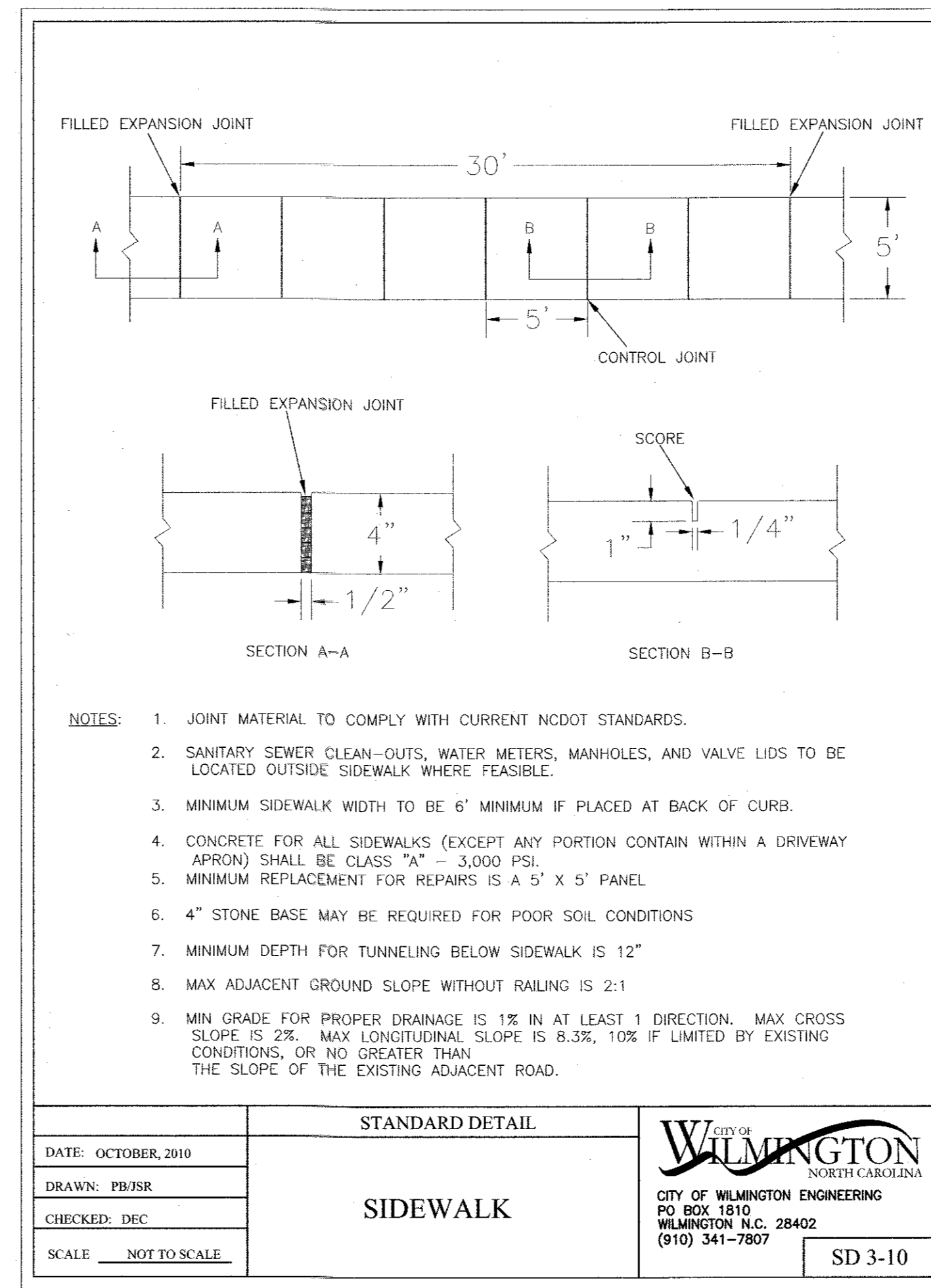
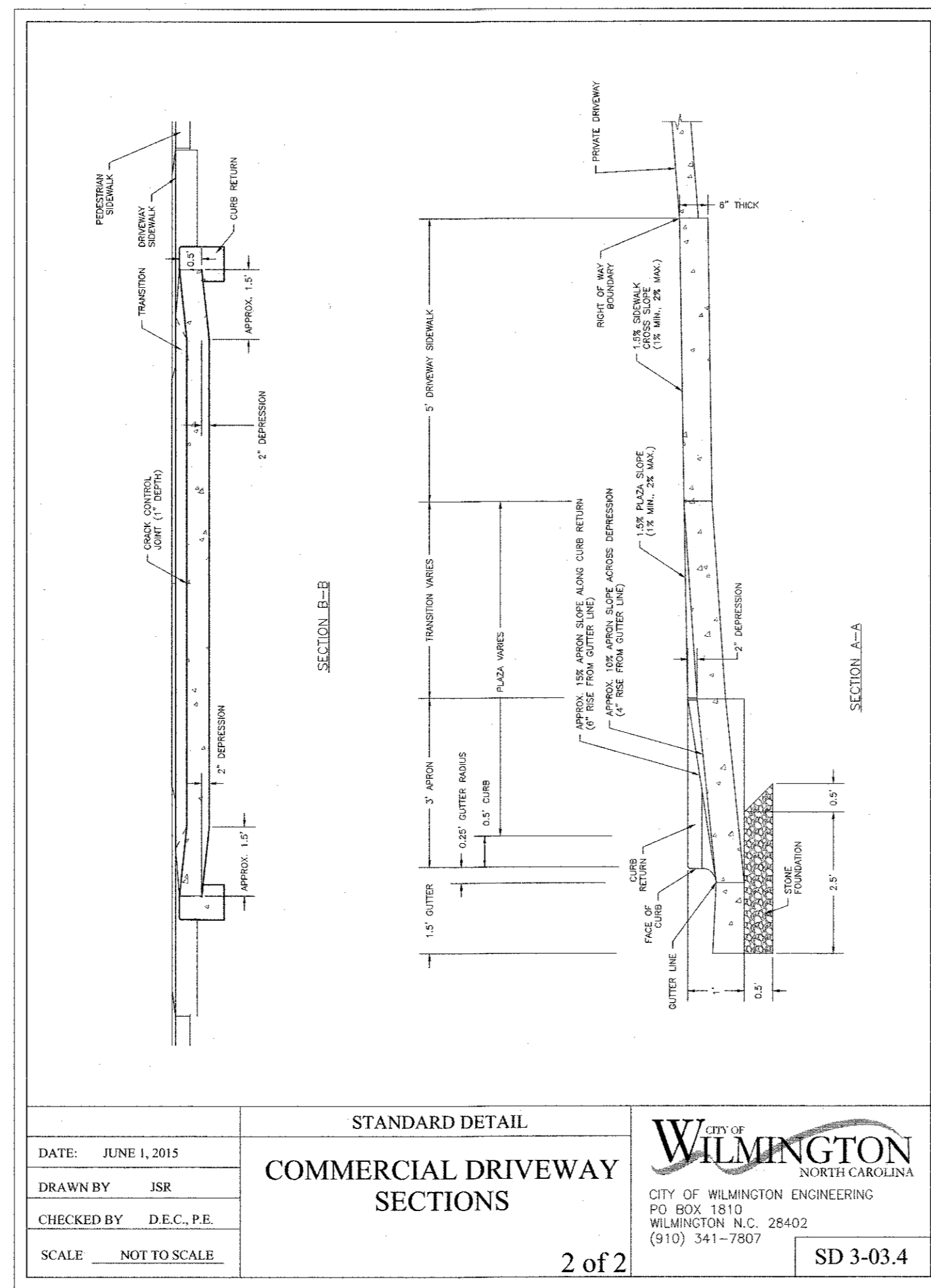
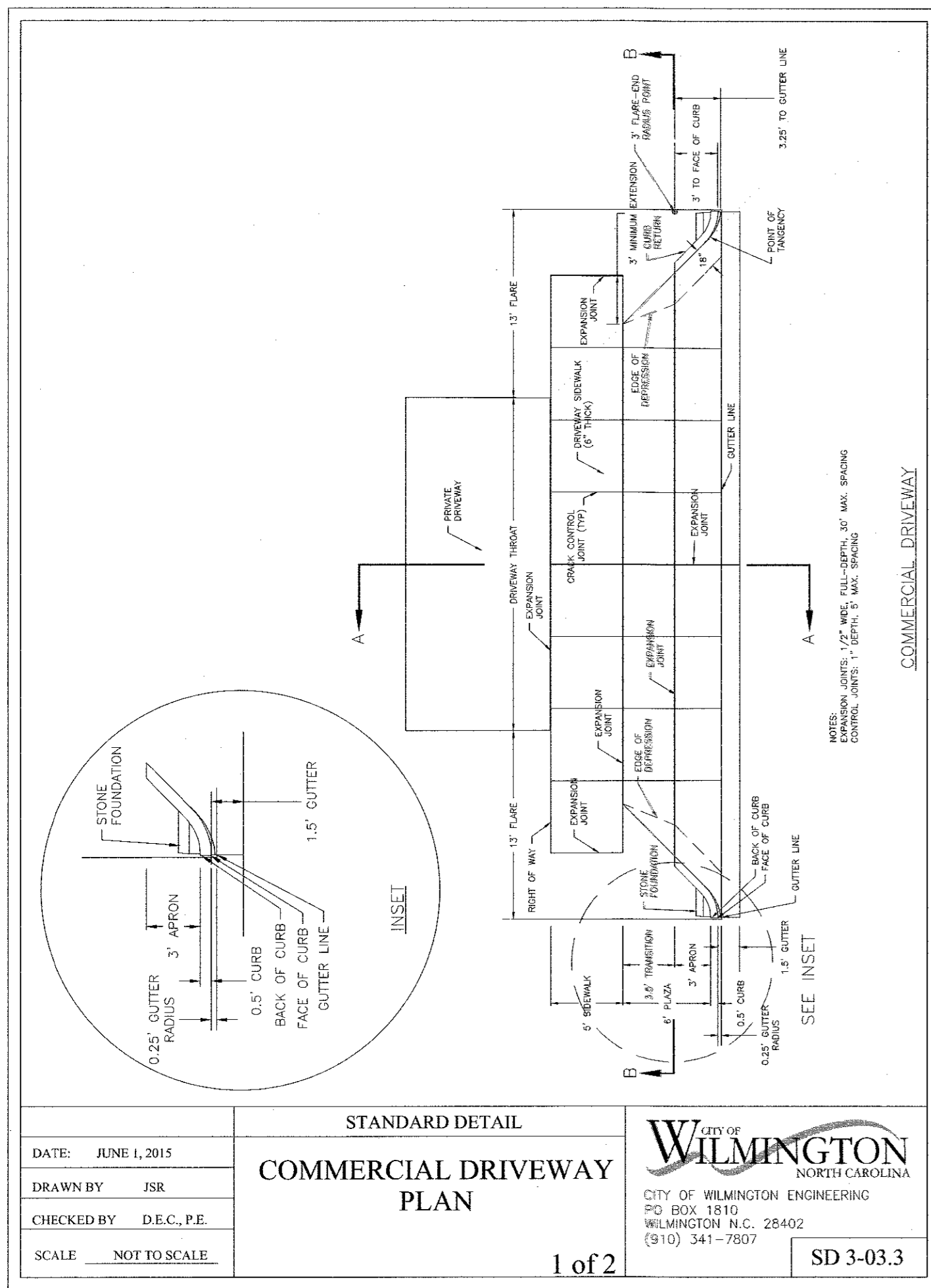
LANDSCAPE PLAN FOR
JENNS CONTRACTING
1809 COLWELL AVENUE

LANDSCAPE PLAN FOR
JENNS CONTRACTING
1809 COLWELL AVENUE
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: JOSEPH DECARLO
1809 COLWELL AVENUE
WILMINGTON, NC 28403



REV. NO.	DATE	BY	REMARKS
5	7/25/18	JSM	SEAL
4	4/17/18	JSM	REVISED NOTES AND QUANTITIES PER CITY
3	3/29/18	JSM	REVISED PER CITY APPROB
2	3/27/18	JSM	REVISED PER CITY APPROB
1	2/27/18	JSM	REVISED PER CITY APPROB

DATE: 2-20-18
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: JSM
CHECKED BY: HSR
PROJECT NO.: 17-0414
Sheet No. **3** Of **4**



Approved Construction Plan

Name: _____ Date: _____
 Planning: *YMC 7-5-2018*
 Traffic: *W. Sandoz 7-6-18*
 Fire: *Greg MSA 7-9-18*

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED PLAN NO PERMIT REQUIRED

Signed: *[Signature]*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

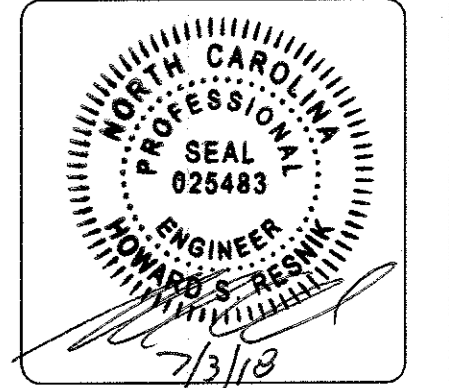
P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

SITE DETAILS FOR
JENNS CONTRACTING
1809 COLWELL AVENUE

The Engineer's responsibility is to prepare the drawings, specifications, and other documents in accordance with the contract documents and the professional seal of the Engineer. The seal of the Engineer is a condition of the contract documents and the professional seal of the Engineer is a condition of the contract documents. The seal of the Engineer is a condition of the contract documents. The seal of the Engineer is a condition of the contract documents.

SITE DETAILS FOR
JENNS CONTRACTING
1809 COLWELL AVENUE
LOCALITY: CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: JOSEPH DECARLO
1809 COLWELL AVENUE
WILMINGTON, NC 28403



REV.	DATE	BY	REMARKS
1	7/9/18	JSM	
2	3/29/18	JSM	
3	3/27/18	JSM	
4	2/29/18	JSM	

DATE: 11-20-17
 HORZ. SCALE: N/A
 VERT. SCALE: N/A
 DRAWN BY: JSM
 CHECKED BY: HSR
 PROJECT NO.: 17-0414